

FILE # \_\_\_\_\_  
(For NEC office use only)



**NIAGARA ESCARPMENT COMMISSION**  
**APPLICATION TO AMEND THE NIAGARA ESCARPMENT PLAN-NEC 1**  
(Revised November 25, 2014)

THE NIAGARA ESCARPMENT PLANNING AND DEVELOPMENT ACT, R.S.O. 1990, AS AMENDED

NIAGARA ESCARPMENT COMMISSION  
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GEORGETOWN, ONTARIO  
L7G 4B1

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NIAGARA ESCARPMENT COMMISSION  
99 KING STREET EAST, BOX 308  
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This form is intended to assist an applicant and the Niagara Escarpment Commission in considering proposed amendments to the Niagara Escarpment Plan. Not all parts of this application may be necessary or relevant to each proposal. Please attach additional pages or reports as required. Please include justification and supporting information with the application. Niagara Escarpment Commission staff would be pleased to discuss the form and assist in completing it. The Niagara Escarpment Commission may request more information after reviewing the complete submission.

PLEASE TYPE OR PRINT IN INK AND SUBMIT TO ONE OF THE NIAGARA ESCARPMENT COMMISSION OFFICES:

<b>1. APPLICANT(S)</b>		
Name: Columbia Northcliffe Campus Inc. c/o Clement Chan		
Address: 1003 Main Street West	Postal Code: L8S 4P3	
Phone: 905-572-7883	Fax:	E-mail: <a href="mailto:phurley@cic-totalcare.com">phurley@cic-totalcare.com</a>
<b>2. AGENT(S) (if any)</b>		
Name: IBI Group c/o John Ariens		
Address: 360 James Street North, Suite 200	Postal Code: L8L 1H5	
Phone: 905-546-1010	Fax:	E-mail: <a href="mailto:john.ariens@ibigroup.com">john.ariens@ibigroup.com</a>
<b>3. OWNER(S) (if different from applicant)</b>		
Name: Same As Applicant		
Address:	Postal Code:	
Phone:	Fax:	E-mail:

CORRESPONDENCE TO BE SENT TO:  APPLICANT  AGENT  OWNER

**4. LOCATION**

LOCAL MUNICIPALITY Dundas COUNTY/REGION/CITY Hamilton  
TOWNSHIP LOT Part of 28 & 29 CONCESSION 2  
IF APPLICABLE, REGISTERED PLAN NO. LOT  
CIVIC ADDRESS NO. STREET ADDRESS NO. 574 Northcliffe Ave

**5. DESCRIPTION OF PROPERTY**

SIZE OF PROPERTY 19.71 ha 48.7 ac.

**6. IS THE PROPOSAL THE SUBJECT OF A CURRENT APPLICATION? Please identify:**

- Development Permit under Niagara Escarpment Planning and Development Act
- The Planning Act (Official Plan or Zoning By-law Amendment)
- The Aggregate Resources Act
- Committee of Adjustment
- Land Division Committee
- Ontario Municipal Board
- Consolidated Hearings Board
- Environmental Review Tribunal
- Other \_\_\_\_\_

**7. EXISTING DESIGNATION IN NIAGARA ESCARPMENT PLAN**

Escarpment Rural Area & Escarpment Natural Area

**8. EXISTING USE**

**DESCRIPTION:** Currently a convent which houses 20 sisters and their admin with the temporary use of 96 student residences for Columbia.

**9. CATEGORY OF PROPOSED AMENDMENT**

- Change in Designation
- Change in Permitted Use
- Site Specific Exception to Policy
- Change to Policy
- Change to Plan Boundary
- Other \_\_\_\_\_

**10. DETAILED DESCRIPTION OF PROPOSED AMENDMENT (Please use additional page(s) as required)**

To allow for the change in use from residences for the sisters of St. Joseph's to a Grade 12 school for Columbia International College with a gymnasium addition.

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**11. SERVICING**

	MUNICIPAL	PRIVATE
Water Supply	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewage Disposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Frontage on a Road	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**12. LOCATION MAP**

Please attach a location map showing the subject property relative to the general area. (Scale 1:50,000)

**13. SITE PLAN**

Please attach a survey of the subject property, prepared by an Ontario Land Surveyor. The survey must show existing features, such as, buildings and structures, streams, changes in grades, rock outcrops, driveways, forested areas and proposed uses or changes to the property or the features.

**14. JUSTIFICATION AND RATIONALE (INCLUDING REASONS, ARGUMENT AND EVIDENCE IN SUPPORT OF THE AMENDMENT.)**

(See Niagara Escarpment Plan Amendment Guidelines)

- a) The justification submitted with the application should address the following:
  - 1. Analysis of how the proposed amendment is consistent with the *Niagara Escarpment Planning and Development Act* and the Niagara Escarpment Plan.
  - 2. Analysis of how public interest and public need are served by the proposed amendment to the Niagara Escarpment Plan.
  
- b) The following studies and reports may be necessary to be submitted in support of justification of the proposed amendment: (The applicability of the following will depend on the nature of the application.)
  - Environmental Impact Analysis on wetlands, fish habitat, woodlands, valley lands, wildlife habitat, areas of natural and scientific interest, etc.
  - Geological Studies
  - Historical/Cultural/Archeological Impact Assessment
  - Landscape/Visual Impact Analysis

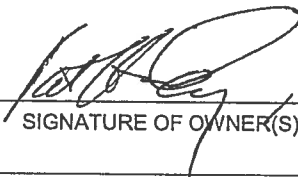
- Traffic Impact Assessment
- Noise Impact Assessment
- Air Quality Impact Assessment
- Agricultural Land Use Impacts
- Hydrogeological Impact Assessment
- Engineering Reports
- Grading Plans – existing and proposed
- Tree Removal/Planting
- Suitability for Septic Systems
- Other \_\_\_\_\_

Personal Information (i.e., name, address, phone, e-mail) is collected under the authority of the *Niagara Escarpment Planning and Development Act, RSO, 1990*, as amended, and will be used to process this application, which will include site visit notifications and in some cases appeals and hearings. Questions regarding the collection and use of this personal information should be directed to the Manager, Administration at the Georgetown Office phone, email and mailing address set out on the front page of this application form.

By signing this application form below, I consent to the collection of my personal information. **This application cannot be processed without the required signatures as set out below.**

**SITE VISITS**

I UNDERSTAND THAT SITE VISITS MAY BE CONDUCTED ON THIS PROPERTY TO REVIEW THIS APPLICATION, IN ACCORDANCE WITH THE *NIAGARA ESCARPMENT PLANNING AND DEVELOPMENT ACT*.

 10/25/2019  
 \_\_\_\_\_  
 SIGNATURE OF OWNER(S) AND DATE

**I CERTIFY THAT THIS STATEMENT IS TRUE AND CORRECT**

DATED AT Hamilton

THIS 25TH DAY OF October, 20 19

SIGNATURE OF APPLICANT(S): \_\_\_\_\_  


SIGNATURE OF AGENT(S): \_\_\_\_\_  
